



\*\*\* REDUCED \*\*\* A beautifully upgraded mid terraced property, located within a short stroll of Seaton Carew's popular seafront. The home features an impressive kitchen/diner, modern ground floor bathroom and useful ensuite shower to the master bedroom. The home would make an ideal purchase for a first time buyer or young family, with attractive decor, upgraded internal doors, gas central heating and uPVC double glazing. An internal viewing comes recommended, with a layout which briefly comprises: entrance vestibule, bay fronted lounge with feature fire surround, white gloss kitchen, rear lobby, ground floor bathroom, three bedrooms and a modern ensuite shower room to the master which incorporates a three piece suite and chrome fittings. Externally is a low maintenance rear yard with gated access. Carlisle Street is located off Station Lane with easy access to schools and amenities. VIEWING RECOMMENDED.

**Carlisle Street, Hartlepool, TS25 1BL**

**3 Bed - House - Mid Terrace**

**£132,500**

**EPC Rating: D**

**Council Tax Band: A**

**Tenure: Freehold**



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ESTATE AGENTS

**Carlisle Street, Hartlepool, TS25 1BL**



## **GROUND FLOOR**

### **ENTRANCE VESTIBULE**

Accessed via uPVC double glazed entrance door, stairs to the first floor, fitted carpet, convector radiator.

### **FRONT LOUNGE**

**12'9 x 12'5 (3.89m x 3.78m)**

A good size lounge with attractive feature fire surround, 'granite' style back and base, inset gas fire, uPVC double glazed bay window to the front aspect, modern laminate flooring, radiator, access to;

### **KITCHEN/DINER**

**15'9 x 8'9 (4.80m x 2.67m)**

Fitted with a modern range of white gloss units to base and wall level with contrasting work surfaces, incorporating an inset one and a half bowl single drainer sink with mixer tap, built-in electric oven with four ring gas hob above and extractor over, tiled splashback, recess for washing machine, dryer and dishwasher, uPVC double glazed window to the rear aspect, 'tile' effect vinyl flooring.

### **REAR LOBBY**

### **GROUND FLOOR BATHROOM/WC**

**8'9 x 7'2 (2.67m x 2.18m)**

Fitted with an impressive three piece white suite and chrome fittings comprising: tiled panelled bath with central mixer tap and shower attachment, pedestal wash hand basin with mixer tap, low level WC, tiled walls, extractor fan, uPVC double glazed window to the side aspect, convector radiator.

## **FIRST FLOOR**

### **LANDING**

Fitted carpet, access to bedrooms, hatch to boarded and carpeted attic room, ideal for use as a hobby room with lighting, sockets and eaves storage, accessed via pull down ladder.

### **BEDROOM ONE**

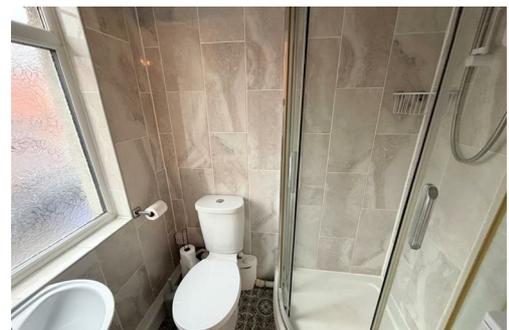
**14'8 x 12'7 (4.47m x 3.84m )**

A good size lounge with uPVC double glazed bay window to the front aspect, fitted carpet, double radiator, access to;

### **EN-SUITE SHOWER ROOM/WC**

**5'3 x 3'9 (1.60m x 1.14m)**

Fitted a modern three piece suite and chrome fittings comprising: corner shower cubicle with electric shower, pedestal wash hand basin with central mixer tap, WC with macerator system, tiled splashback, uPVC double glazed window.



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**BEDROOM TWO**

10'9 x 8'9 (3.28m x 2.67m )

Built-in wardrobe, uPVC double glazed window to the rear aspect, fitted carpet, single radiator.

**BEDROOM THREE**

7'8 x 6'10 (2.34m x 2.08m )

uPVC double glazed window to the rear aspect, fitted carpet, convactor radiator.

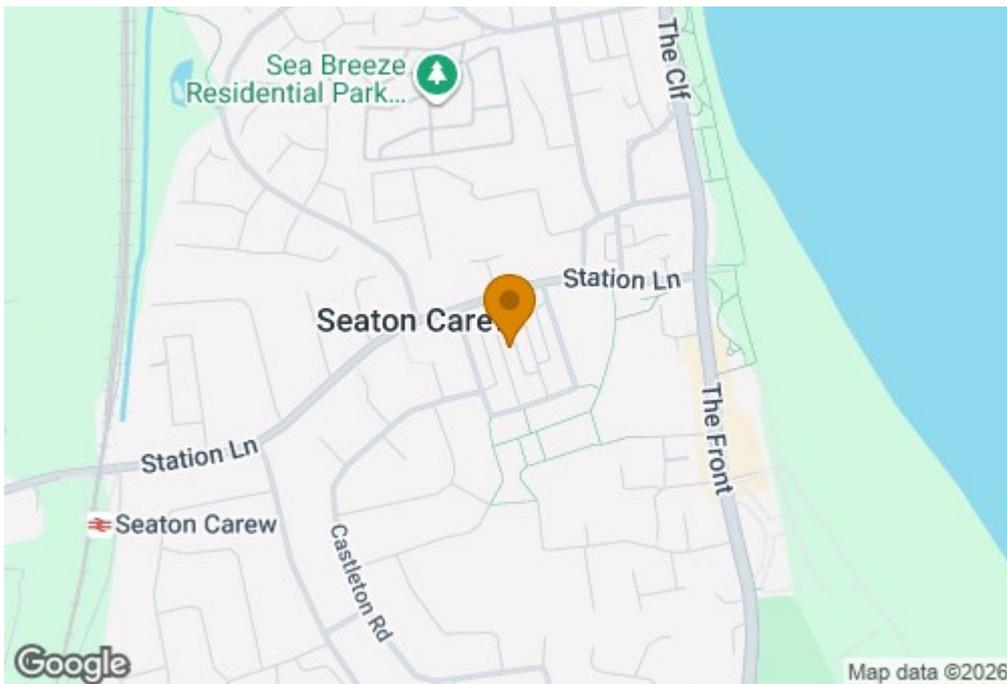


**EXTERNALLY**

The property features a low maintenance yard to the rear with gated access.

**NB**

Floorplans and title plans are for illustrative purposes only. All measurements, walls, doors, window fittings and appliances, their sizes and locations, are approximate only. They cannot be regarded as being a representation by the seller, nor their agent.

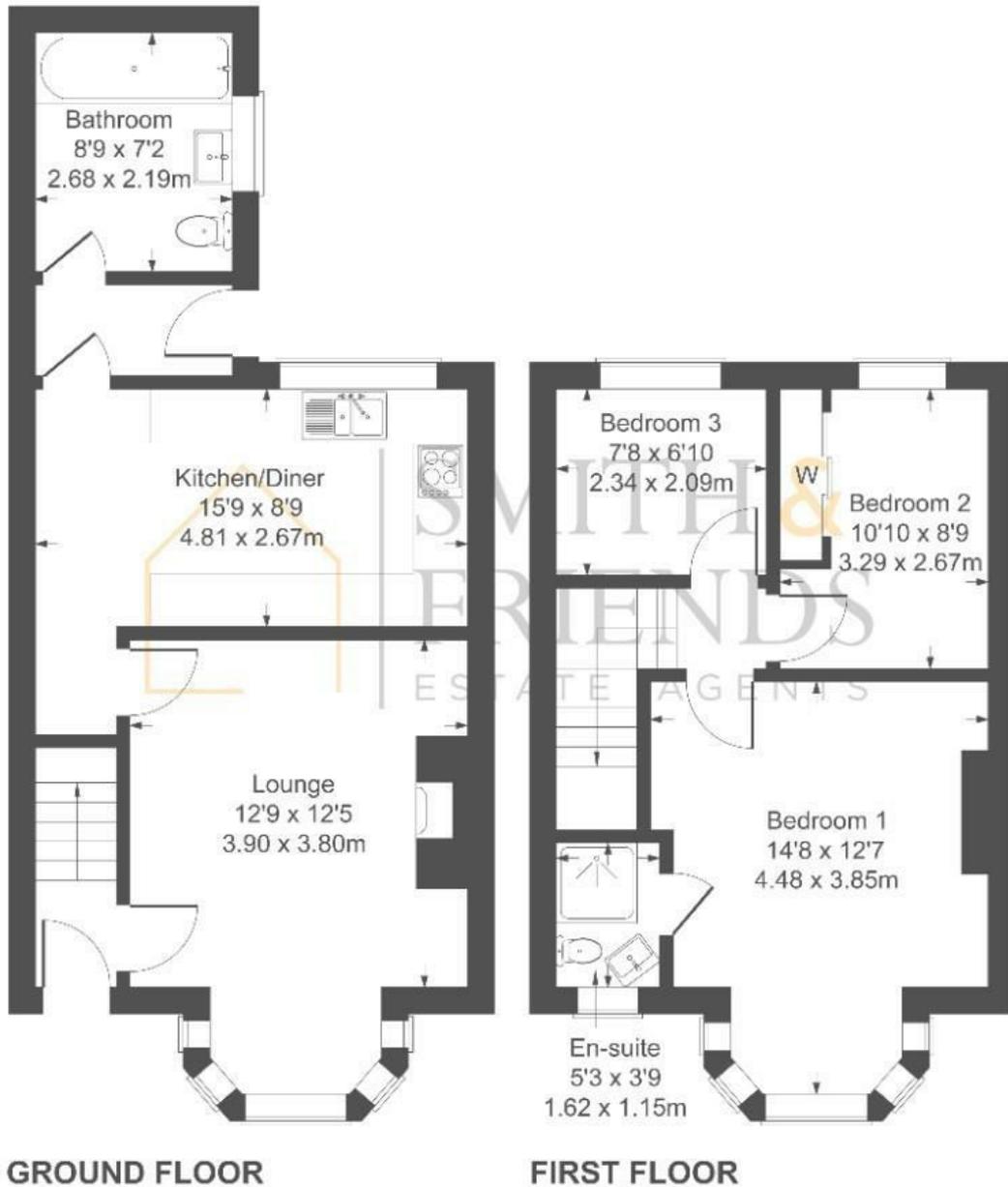


Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C			80
(55-68) D		62	
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

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# Carlisle Street

Approximate Gross Internal Area  
840 sq ft - 78 sq m



Not to Scale. Produced by The Plan Portal 2026  
For Illustrative Purposes Only.

For clarification we wish to inform prospective purchasers that we have prepared these sales particulars as a general guide. We have not carried out a detailed survey, nor tested the services, appliances and specific fittings. Room sizes should not be relied upon for carpets and furnishings, if there are important matters which are likely to affect your decision to buy, please contact us before viewing the property. Smith & Friends Estate Agents can recommend financial services, surveying and conveyancing services to sellers and buyers. Smith & Friends Estate Agents staff may benefit from referral incentives relating to these services.

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